

Development Data:

Total Tract Area = 21.77 ac.

Density - Permitted Density (@ 6 units/ac.) = 212 units
Proposed Density 56 units = 2.6 units/ac.

Area in R/W - 2.6 ac.
Area in Lots - 10.42 ac.
Common Areas - 10.07 ac.

Area of Wetlands - 1.93 ac.

Min. Lot Size - 5000 s.f.
Avg. Lot Size - 8105 s.f.

Building Setbacks:

Front: 15'
Corner: 10'
Rear: 15'
Interior Side: 5'

Recreation Area - (@ 0.03 ac/unit) (55 units x .03) = 1.65 ac. req'd.

** 1.83 ac.+ Active prov'd. **
** 2.20 ac.+ Passive prov'd. **

Total Length of Streets - 2603 l.f.±

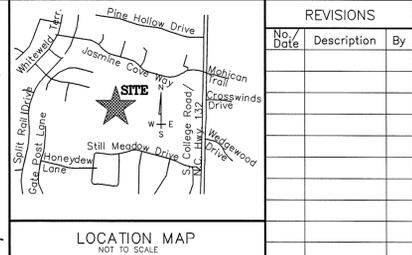
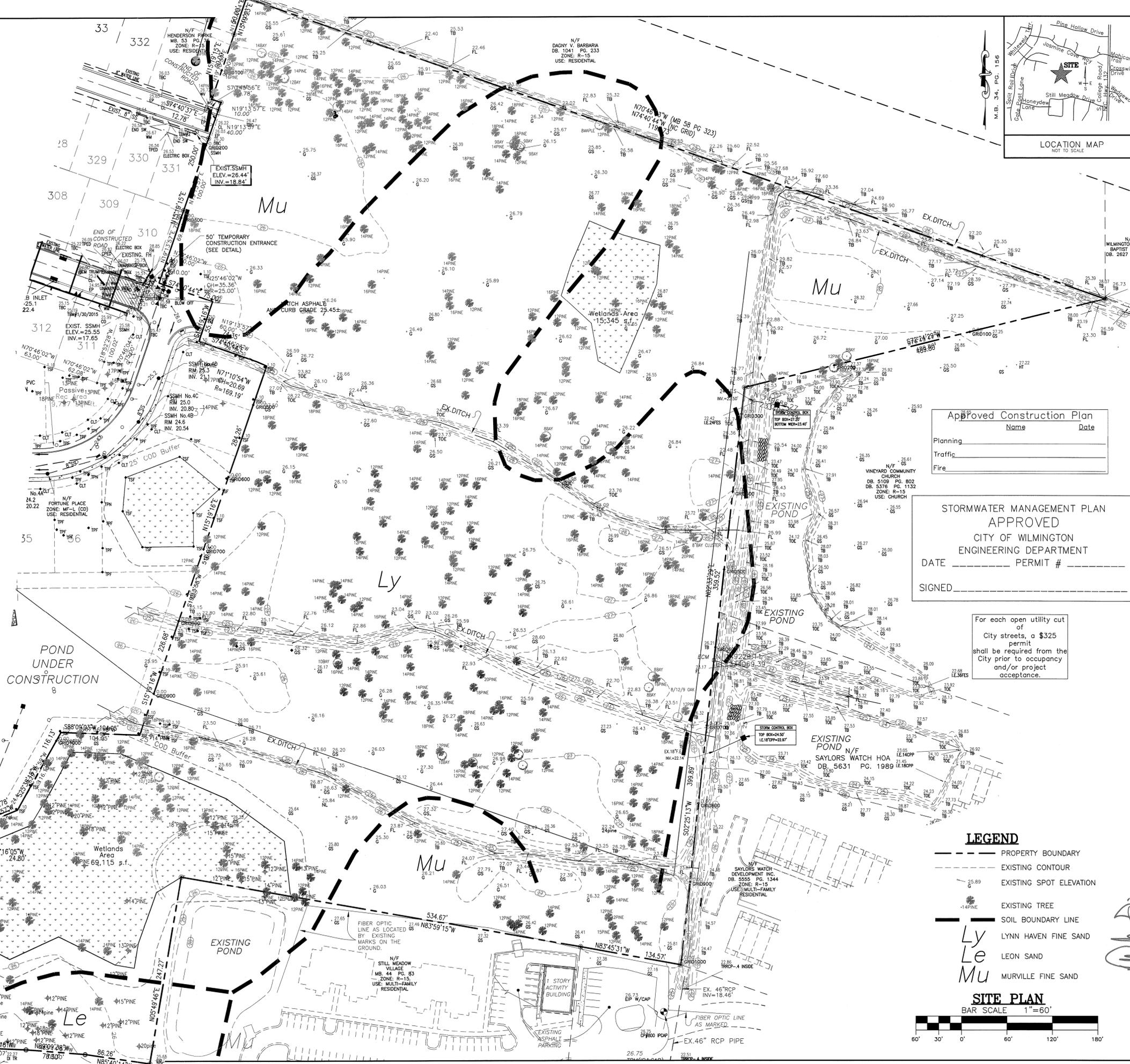
Estimated Impervious Surfaces -
Lot Coverage - 5.14 ac.±
(@ 4000 s.f./lot)
Street Pavement - 1.7 ac.±
Sidewalks - 0.6 ac.±
Total - 7.44 ac.± (34.1%)

GENERAL NOTES:

- 1. Applicant: Tripp Engineering, P.C.
- 2. Property owner: Hooser Daddy, LLC
- 3. Property developer: Deans Hackney
- 4. Site address: 4900 Gate Post Lane
- 5. Zone: MF-L (CD)
- 6. New Hanover County Parcel Nos.: PIN 3134(06)-39-4823 [PID R07100-003-015-001]
- 7. CAMA Land Classification: Urban
- 8. This property is not impacted by any AEC.
- 9. There are Conservation Resources affecting this property. Conservation Resources shall be permanently protected, remain undivided and shall be permanently preserved by conservation easements, protective covenants, or similar restrictions or by any of the procedures for the dedication of park, recreation, and open space areas set forth in the Land Development Code.
- 10. This site is not impacted by any recognized historic or archeological significance.
- 11. No cemeteries were evidenced on the site.
- 12. There is no evidence of endangered species or habitat issues on the site.
- 13. This tract is not within a Special Flood Hazard Area as referenced on FIRM Map # 3720313400J, Effective April 3, 2006.
- 14. The tract is within the Motts Creek watershed, Cape Fear River Basin.
- 15. All development shall be in accordance with the City of Wilmington Land Development Code.
- 16. All development shall meet any county, state or federal regulations for construction permitting.
- 17. All roads to be dedicated for public use to the City of Wilmington and will be designed & constructed in accordance with standards for subdivision roads.
- 18. All common areas shall be dedicated to and maintained by a Homeowners' Association.
- 19. Existing water and sanitary sewer are currently available to the site from Cape Fear Public Utility Authority public mains.
- 20. No thoroughfares, routes or trails.
- 21. Jurisdictional wetlands have been delineated on the site as shown. Signed US Army Corp of Engineers map provided.
- 22. There are no perennial streams on site.
- 23. Sidewalks, 5 feet in width, to be installed along all rights of way.
- 24. All pavement markings in public rights-of-way and for driveways are to be thermoplastic and meet City and/or NCDOT standards.
- 25. All signs and pavement markings in areas open to public traffic are to meet MUTCD (Manual on Uniform Traffic Control Devices) standards.
- 26. Install reflectors per City and NCDOT standards. Traffic Engineering must approve of pavement marking layout prior to actual striping.
- 27. It shall be the responsibility of the subdivider to erect official street name signs at all intersections associated with the subdivision in accordance with the Technical Standards and Specifications Manual. The subdivider may acquire and erect official street name signs or may choose to contract with the City to install the street signs and the subdivider shall pay the cost of such installation. Contact Traffic Engineering at 910-341-7888 to discuss installation of traffic and street name signs. Proposed street names must be approved prior to installation of street name signs.
- 28. Street lighting shall be provided in accordance with Sec. 18-380 of the subdivision regulations.
- 29. Any broken or missing sidewalk panels and curbing will be replaced.
- 30. A landscaping plan indicating the location of required street trees shall be submitted to the City of Wilmington Traffic Engineering Division and Parks and Recreation Department for review and approval prior to the recording of the final plat.
- 31. Contact Traffic Engineering at 910-341-7888 forty-eight hours prior to excavation in the right-of-way.
- 32. Per the requirements of the stormwater permit, the following shall occur prior to issuance of a certificate of occupancy or operation of the permitted facility:
 - a. As-built drawings for all stormwater management facilities shall be submitted to the City of Wilmington Engineering Division.
 - b. An Engineer's certification shall also be submitted, along with all supporting documentation that specifies, under seal that the as-built stormwater measures, controls and devices are in compliance with the approved stormwater management plans.
 - c. A final inspection by City of Wilmington Engineering personnel.
 - d. All required stormwater/drainage easements and deed restrictions shall be recorded with the register of deeds office.
 - e. Soil Types:
 - LE-Leon Sand
 - LY-Lynn Haven Fine Sand
 - MU-Murville Fine Sand

Tree Protection Notes:

- 1. Tree Preservation / Removal Permit is required prior to clearing & land disturbance.
- 2. Prior to any clearing, grading or construction activity, tree protection fencing will be installed around protected trees or groves of trees and no construction workers, tools, materials, or vehicles are permitted within the tree protection fencing.
- 3. Protective fencing is to be maintained throughout the duration of the project. Land clearing and construction contractors shall receive adequate instruction on tree protection requirements and methods.
- 5. Label protective fencing with signs to be placed every 50 linear feet, or at least two (2) per acre, in both English & Spanish "Tree Protection Area: Do Not Enter."



REVISIONS		
No./Date	Description	By

Approved Construction Plan

Name	Date
Planning	
Traffic	
Fire	

STORMWATER MANAGEMENT PLAN
APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____ PERMIT # _____
SIGNED _____

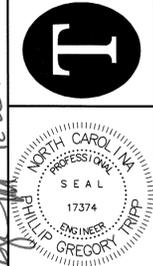
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

- LEGEND**
- PROPERTY BOUNDARY
 - - - EXISTING CONTOUR
 - EXISTING SPOT ELEVATION
 - EXISTING TREE
 - SOIL BOUNDARY LINE
 - Ly LYNN HAVEN FINE SAND
 - Le LEON SAND
 - Mu MURVILLE FINE SAND

SITE PLAN
BAR SCALE 1"=60'

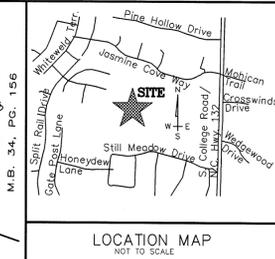
EXISTING CONDITIONS AND SITE INVENTORY PLAN
FORTUNE PLACE II
NEW HANOVER COUNTY, NORTH CAROLINA

TRIPP ENGINEERING, P.C.
419 Chestnut Street
Wilmington, North Carolina 28401
Phone 910-763-6100
Fax 910-763-5631



DATE 12-28-16
DESIGN PGJ
DRAWN EJW

C1
SHEET 1 OF 9
14023

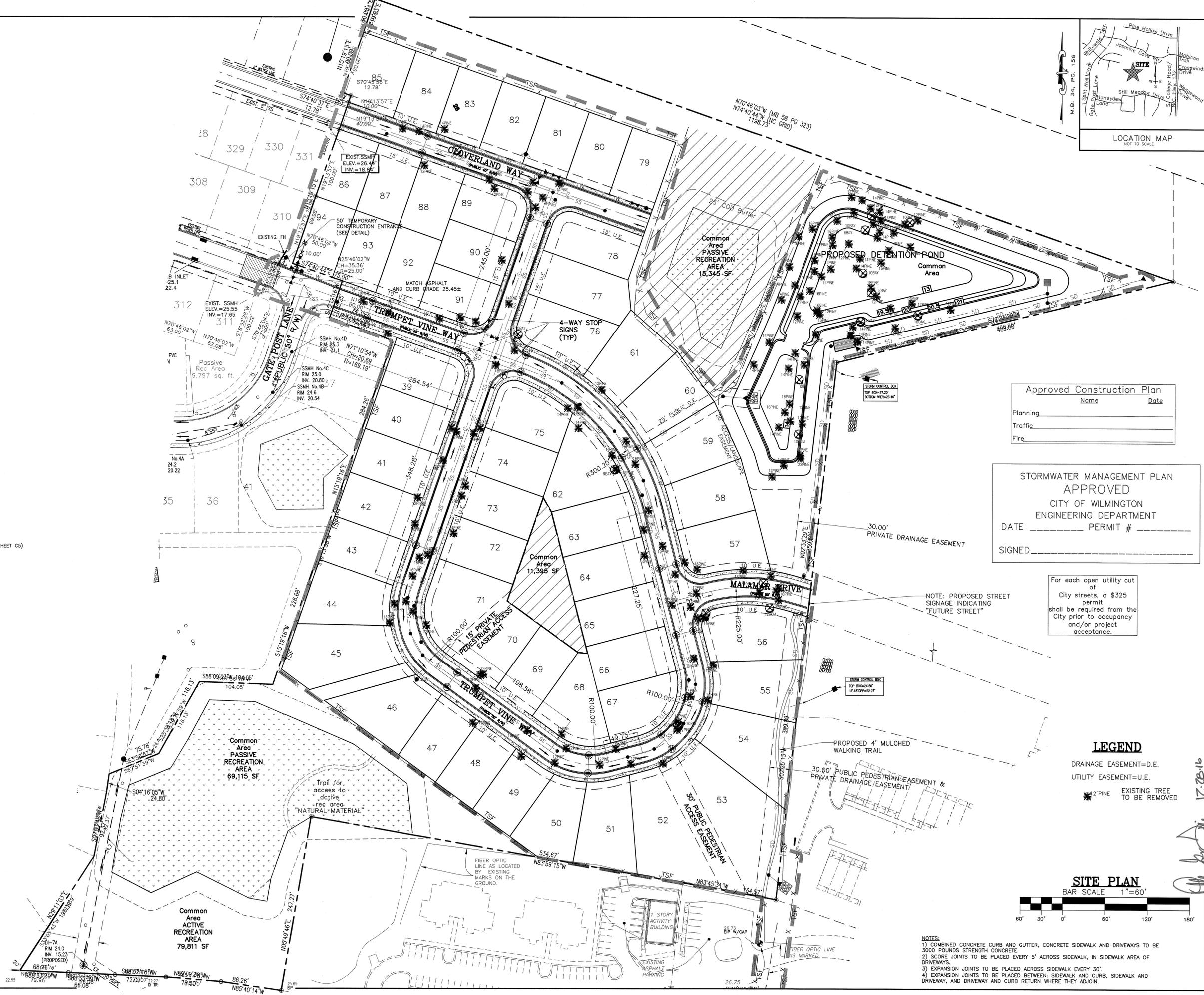


REVISIONS		
No.	Date	Description

TREES TO BE REMOVED:
TREE INVENTORY

NUMBER	TYPE OF TREE	TREE SIZE
1	PINE	22"
2	PINE	20"
8	PINE	18"
25	PINE	16"
53	PINE	14"
56	PINE	12"
1	BAY	12"
8	BAY	10"
6	BAY	8"
1	GUM*	12"
1	GUM*	10"
1	OAK*	10"

163 TOTAL TREES TO BE REMOVED
* SIGNIFICANT TREES TO BE MITIGATED (SEE SHEET C5)



Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

STORMWATER MANAGEMENT PLAN
APPROVED

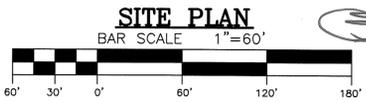
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DATE _____ PERMIT # _____

SIGNED _____

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- LEGEND**
- DRAINAGE EASEMENT=D.E.
 - UTILITY EASEMENT=U.E.
 - EXISTING TREE TO BE REMOVED



- NOTES:**
- 1) COMBINED CONCRETE CURB AND GUTTER, CONCRETE SIDEWALK AND DRIVEWAYS TO BE 3000 POUNDS STRENGTH CONCRETE.
 - 2) SCORE JOINTS TO BE PLACED EVERY 5' ACROSS SIDEWALK, IN SIDEWALK AREA OF DRIVEWAYS.
 - 3) EXPANSION JOINTS TO BE PLACED ACROSS SIDEWALK EVERY 30'.
 - 4) EXPANSION JOINTS TO BE PLACED BETWEEN: SIDEWALK AND CURB, SIDEWALK AND DRIVEWAY, AND DRIVEWAY AND CURB RETURN WHERE THEY ADJOIN.

SITE AND TREE REMOVAL PLAN
FORTUNE PLACE II
WILMINGTON, NORTH CAROLINA

TRIPP ENGINEERING, P.C.
419 Chestnut Street
Wilmington, North Carolina 28401
Phone 910-763-5100
Fax 910-763-5631
© 2010 TRIPP ENGINEERING, P.C.



DATE 12-28-16
DESIGN PGT
DRAWN EJW

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4. Site address: 4800 Gate Post Lane
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11. No cemeteries were evidenced on the site.
12. There is no evidence of endangered species or habitat issues on the site.
13. This tract is not within a Special Flood Hazard Area as referenced on FIRM Map # 3720313400J, Effective April 3, 2006.
14. The tract is within the Barnyards Creek watershed, Cape Fear River Basin.
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REPLACE 8"x8" CROSS W/8"x8" TEE
 REMOVE EX. 8" G.V., 8" MAIN AND
 8" PLUG ON NORTH SIDE

50' TEMPORARY CONSTRUCTION ENTRANCE (SEE DETAIL)

30.00' PRIVATE DRAINAGE EASEMENT

30.00' PUBLIC PEDESTRIAN ACCESS EASEMENT

30.00' PRIVATE DRAINAGE EASEMENT

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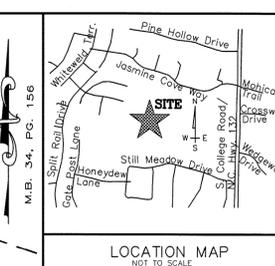
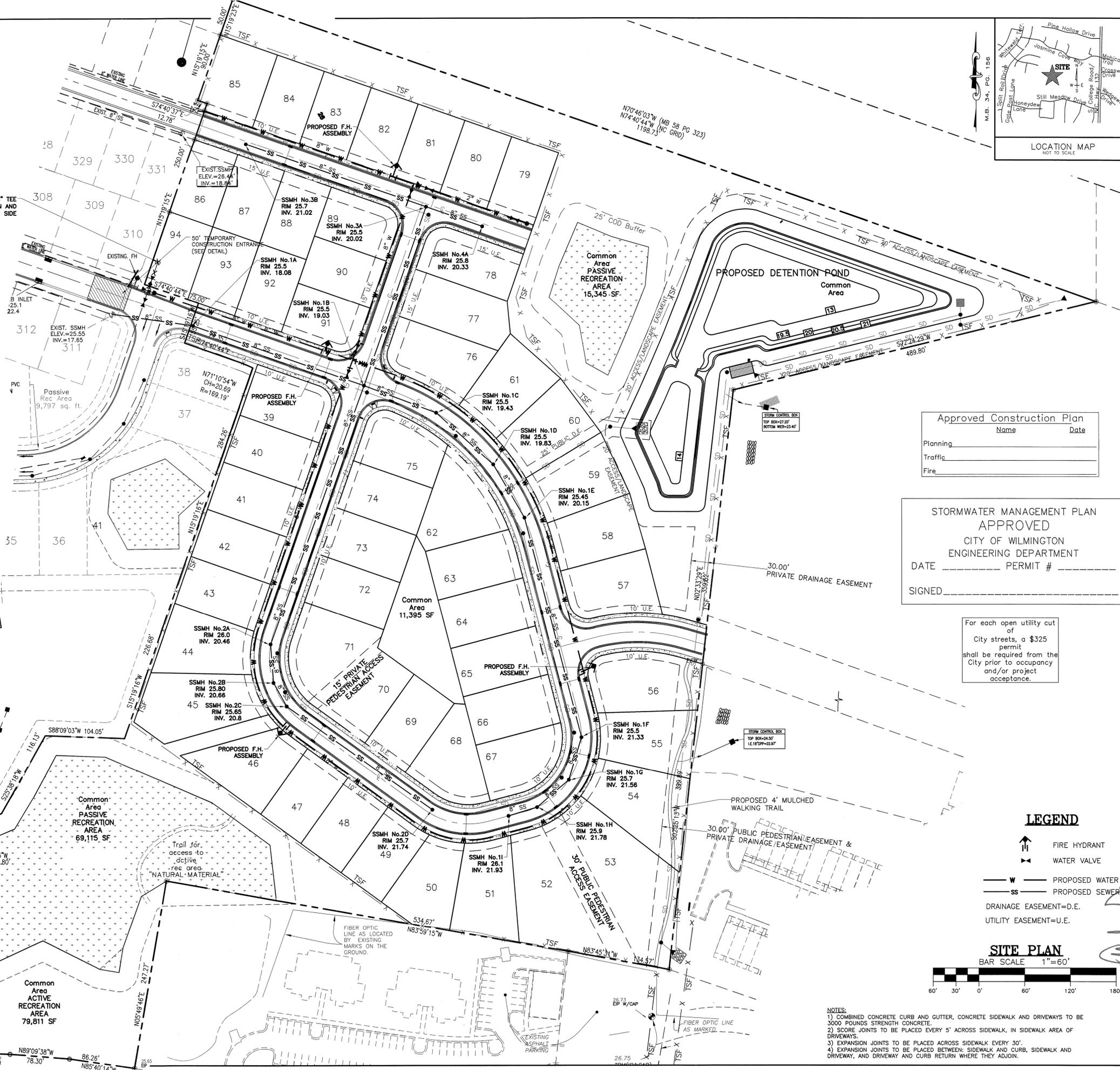
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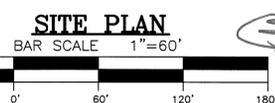
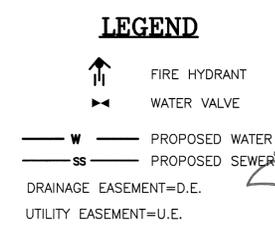
REVISIONS		
No./Date	Description	By

Approved Construction Plan

Name	Date
Planning	
Traffic	
Fire	

STORMWATER MANAGEMENT PLAN
 APPROVED
 CITY OF WILMINGTON
 ENGINEERING DEPARTMENT
 DATE _____ PERMIT # _____
 SIGNED _____

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UTILITY PLAN
FORTUNE PLACE II
 WILMINGTON, NORTH CAROLINA

TRIPP ENGINEERING, P.C.
 419 Chestnut Street
 Wilmington, North Carolina 28401
 Phone 910-763-5100
 Fax 910-763-5631



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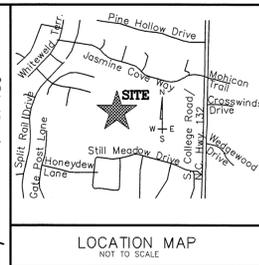
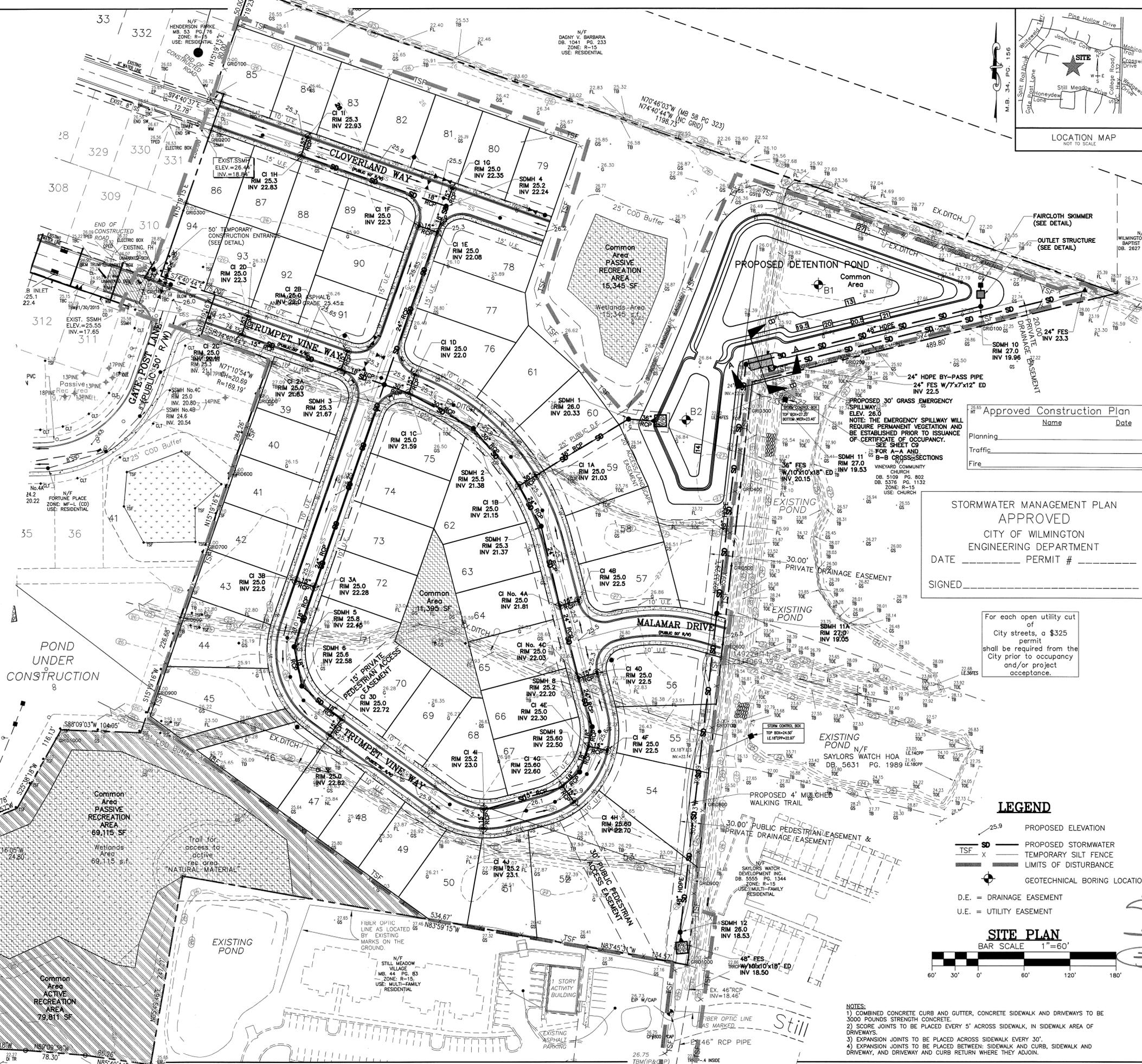
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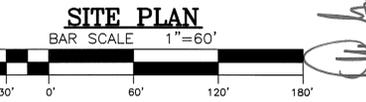
REVISIONS table with columns: No./Date, Description, By.

Approved Construction Plan table with columns: Name, Date. Rows for Planning, Traffic, Fire.

STORMWATER MANAGEMENT PLAN APPROVED CITY OF WILMINGTON ENGINEERING DEPARTMENT DATE PERMIT # SIGNED

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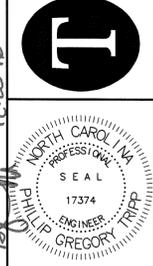
- LEGEND: PROPOSED ELEVATION, PROPOSED STORMWATER, TEMPORARY SILT FENCE, LIMITS OF DISTURBANCE, GEOTECHNICAL BORING LOCATION, D.E. = DRAINAGE EASEMENT, U.E. = UTILITY EASEMENT.



- NOTES: 1) COMBINED CONCRETE CURB AND GUTTER, CONCRETE SIDEWALK AND DRIVEWAYS TO BE 3000 POUNDS STRENGTH CONCRETE. 2) SCORE JOINTS TO BE PLACED EVERY 5' ACROSS SIDEWALK, IN SIDEWALK AREA OF DRIVEWAYS. 3) EXPANSION JOINTS TO BE PLACED ACROSS SIDEWALK EVERY 30'. 4) EXPANSION JOINTS TO BE PLACED BETWEEN SIDEWALK AND CURB, SIDEWALK AND DRIVEWAY, AND DRIVEWAY AND CURB RETURN WHERE THEY ADJOIN.

GRADING, DRAINAGE, EROSION CONTROL AND STORMWATER MANAGEMENT PLAN FORTUNE PLACE II WILMINGTON, NORTH CAROLINA

TRIPP ENGINEERING, P.C. 419 Chestnut Street Wilmington, North Carolina 28401 Phone 910-763-5100 Fax 910-763-5631



DATE 12-28-16 DESIGN PGJ DRAWN EJW

C4 SHEET 4 OF 9 14023

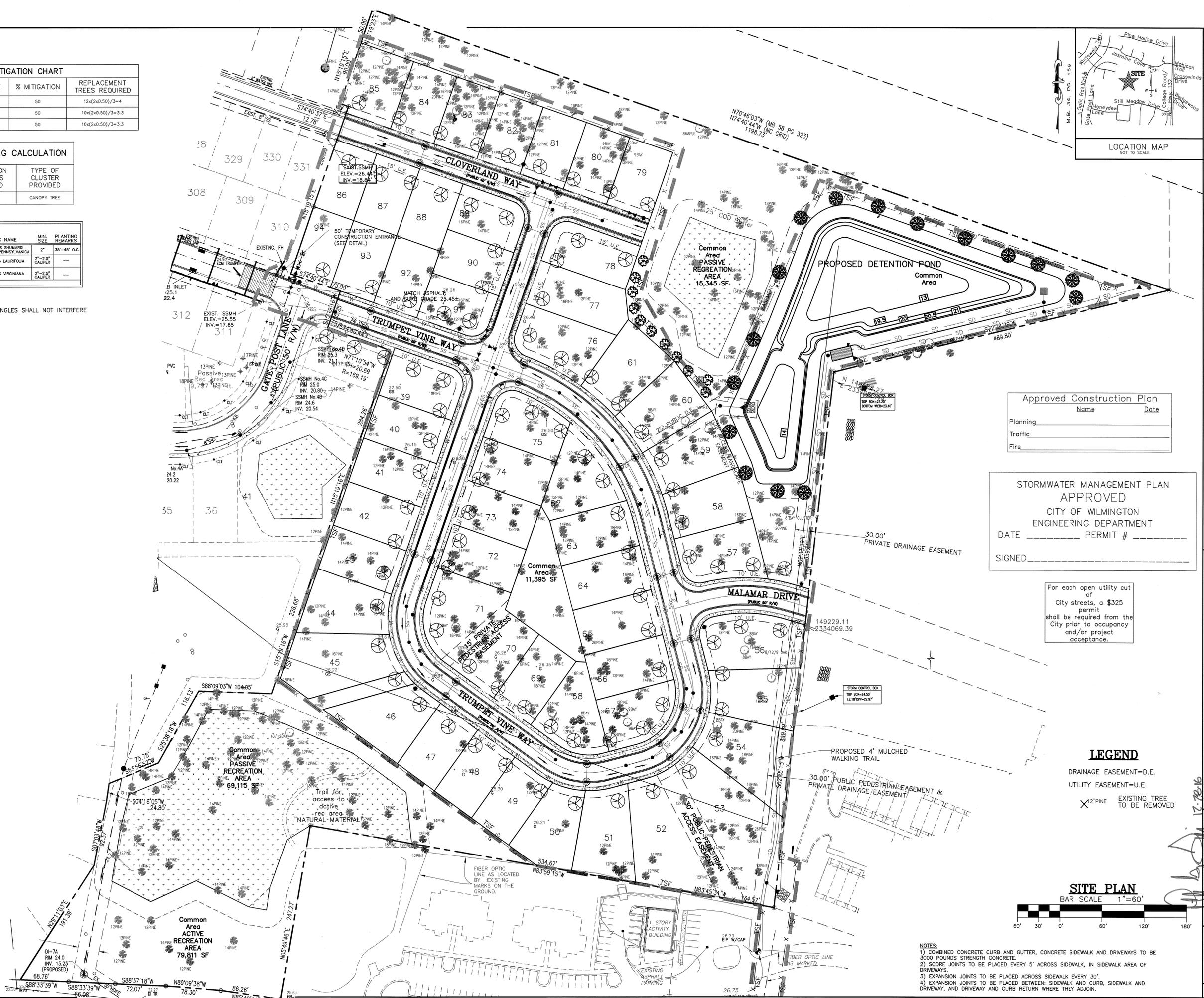
SIGNIFICANT TREE MITIGATION CHART				
TREE TYPE	TREE SIZE	# OF TREES	% MITIGATION	REPLACEMENT TREES REQUIRED
GUM	12 IN.	1	50	12x(2x0.50)/3=4
GUM	10 IN.	1	50	10x(2x0.50)/3=3.3
OAK	10 IN.	1	50	10x(2x0.50)/3=3.3

STORMWATER FACILITY LANDSCAPING CALCULATION

TOP OF BANK LINEAR FOOTAGE	VEGETATION CLUSTERS REQUIRED	VEGETATION CLUSTERS PROVIDED	TYPE OF CLUSTER PROVIDED
1477	1477 / 100 = 14.77	15	CANOPY TREE

PLANT LIST O.C. - "ON CENTER"					
SYM. NO.	TYPE	COMMON NAME	SCIENTIFIC NAME	MIN. SIZE	PLANTING REMARKS
LI 91	TREE	SHUMARD OAK	QUERCUS SHUMARDII	2"	35'-45' O.C.
QL 11	TREE	DARLINGTON OAK	QUERCUS LAURIFOLIA	2"-2.5" CALIPER	---
QV 15	TREE	LIVE OAK	QUERCUS VIRGINIANA	2"-2.5" CALIPER	---

NOTE:
1) ALL PROPOSED VEGETATION WITHIN THE SITE TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10'.



Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

STORMWATER MANAGEMENT PLAN
APPROVED

CITY OF WILMINGTON
ENGINEERING DEPARTMENT

DATE _____ PERMIT # _____

SIGNED _____

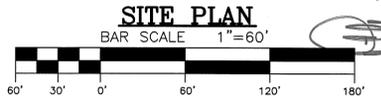
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LEGEND

DRAINAGE EASEMENT=D.E.

UTILITY EASEMENT=U.E.

X 2" PINE EXISTING TREE TO BE REMOVED

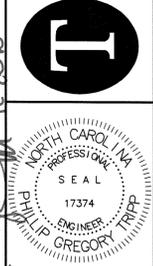


- NOTES:
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 - 4) EXPANSION JOINTS TO BE PLACED BETWEEN: SIDEWALK AND CURB, SIDEWALK AND DRIVEWAY, AND DRIVEWAY AND CURB RETURN WHERE THEY ADJOIN.

REVISIONS		
No./Date	Description	By

LANDSCAPE PLAN
FORTUNE PLACE II
WILMINGTON, NORTH CAROLINA

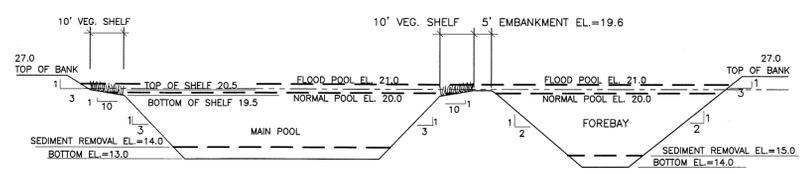
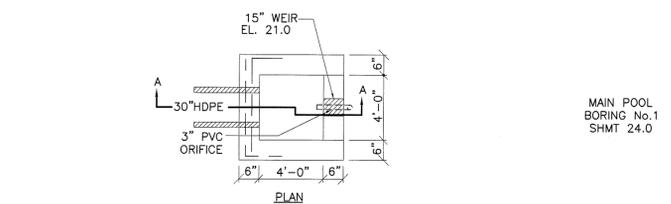
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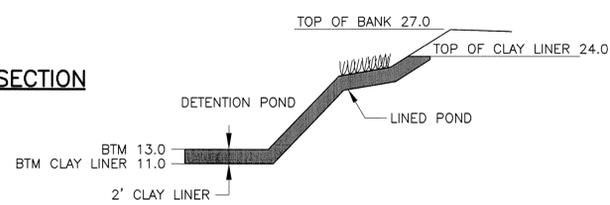
REVISIONS		
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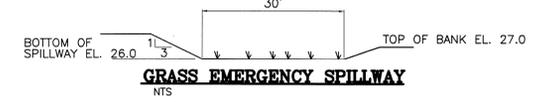
FOREBAY BORING No.2 SHMT 22.5

- POND SLOPE TO BE SEEDED IN ACCORDANCE TO SEEDING SPECIFICATIONS
- A PUMP WILL BE PROVIDED TO DRAIN THE BASIN FOR MAINTENANCE AND EMERGENCIES
- SEE TYPICAL VEGETATED SHELF LANDSCAPING DETAIL
- PERMANENT VEGETATED STABILIZATION OF THE POND SIDESLOPES WILL BE REQUIRED PRIOR TO FINAL INSPECTION.

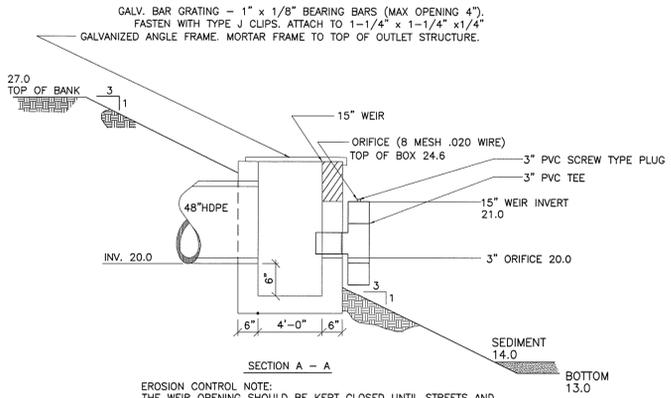
DETENTION POND & FOREBAY SECTION



CLAY LINED POND DETAIL



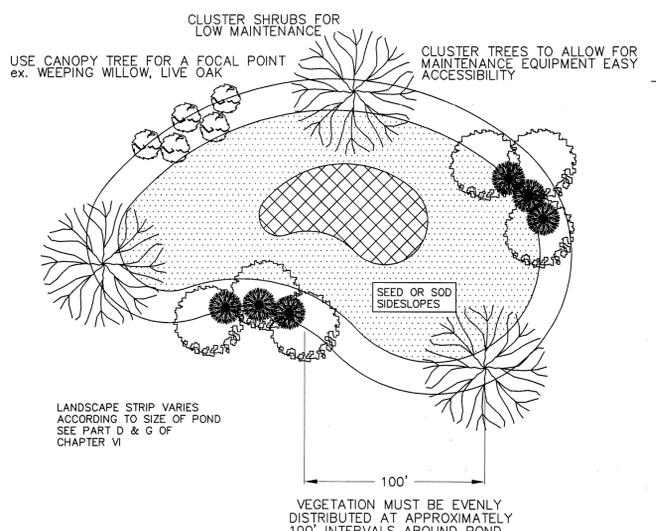
GRASS EMERGENCY SPILLWAY



DETENTION POND OUTLET STRUCTURE

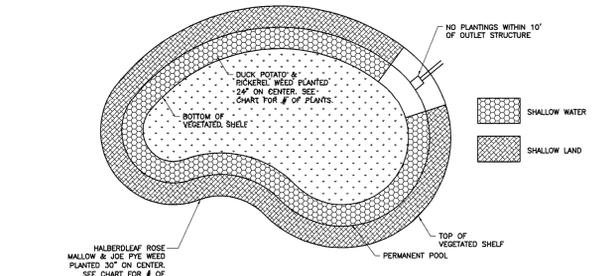
EROSION CONTROL NOTE: THE WEIR OPENING SHOULD BE KEPT CLOSED UNTIL STREETS AND POND ARE COMPLETE AND VEGETATION HAS BEEN ESTABLISHED.

DIMENSIONS AND QUANTITIES FOR DROP INLET (BASED ON MIN. HEIGHT, H)		CUBIC YARDS OF CONCRETE IN BOX		REDUCTIONS FOR ONE PIPE	
PIPE DIAMETER	SPAN	WIDTH	MIN. HEIGHT	CONCRETE	REDUCTIONS
12"	3'-0"	2'-0"	2'-0"	0.222	0.562
18"	3'-0"	2'-0"	2'-0"	0.408	0.629
24"	3'-0"	2'-0"	2'-0"	0.703	0.938
30"	3'-0"	2'-0"	2'-0"	0.814	0.985
36"	3'-0"	2'-0"	2'-0"	0.922	0.992



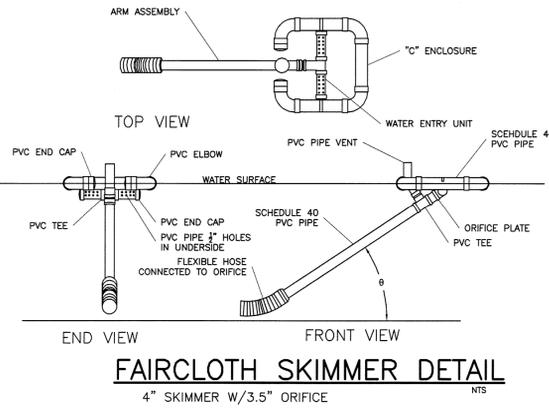
- Notes:
1. If possible, locate pond where vegetation exists.
 2. Suggest minimal clearing to conserve visual quality of site and minimize the additional of tree planting. An irregular shape provides a more natural appearance.
 3. Landscape strip shall be a maximum slope of 7:1 in order to plant vegetation.
 4. Provide a minimum of 3 inches of mulch around all vegetation.

TYPICAL CITY OF WILMINGTON STORMWATER FACILITY LANDSCAPING PLAN

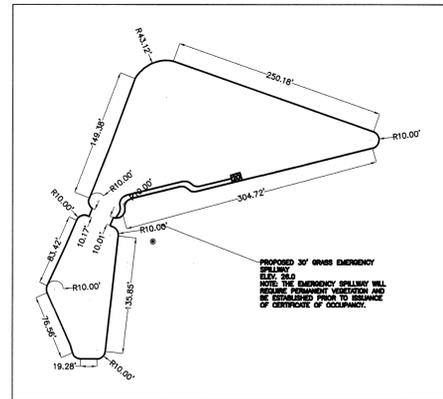


TYPICAL VEGETATED SHELF LANDSCAPING DETAIL

- Notes:
- 1) NO PLANTINGS WITHIN 10' OF OUTLET STRUCTURE.
 - 2) ALL LANDSCAPE MATERIAL, INCLUDING GRASS, SHOULD BE PLANTED IN GOOD TOPSOIL. NATIVE UNDERLING SOILS MAY BE SUITABLE FOR PLANTING IF AMENDED WITH 4" OF WELL-AGED COMPOST FILLED INTO THE SUBGRADE. COMPOST SHOULD MEET SPECIFICATIONS FOR GRAVE A COMPOST QUALITY.
 - 3) A MINIMUM TWO-YEAR WARRANTY PERIOD STIPULATING REQUIREMENTS FOR PLANT SURVIVAL/REPLACEMENT.
 - 4) PERMANENT VEGETATED STABILIZATION OF THE POND SIDESLOPES WILL BE REQUIRED PRIOR TO FINAL INSPECTION.

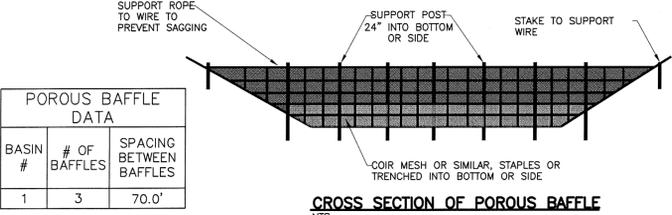


FAIRCLOTH SKIMMER DETAIL

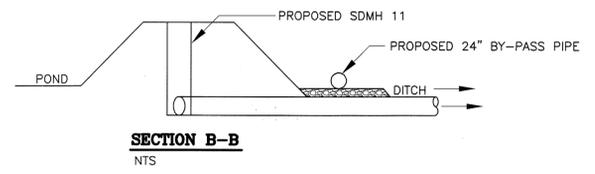


NORMAL POOL POND DIMENSIONS

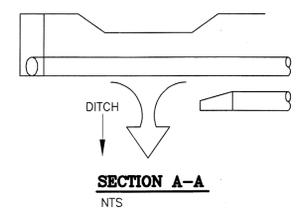
- BAFFLE CONSTRUCTION SPECIFICATION:**
1. GRADE THE BASIN SO THAT THE BOTTOM IS LEVEL FRONT TO BACK AND SIDE TO SIDE.
 2. INSTALL THE COIR FIBER BAFFLES IMMEDIATELY UPON EXCAVATION OF THE BASINS.
 3. INSTALL POSTS ACROSS THE WIDTH OF THE SEDIMENT TRAP.
 4. STEEL POSTS SHOULD BE DRIVEN TO A DEPTH OF 24 INCHES AND SPACED A MAXIMUM OF 4 FEET APART. THE TOP OF THE FABRIC SHOULD BE 6 INCHES HIGHER THAN THE INVERT OF THE SPILLWAY. TOPS OF BAFFLES SHOULD BE 2 INCHES LOWER THAN THE TOP OF THE EARTHEN EMBANKMENT.
 5. INSTALL AT LEAST THREE ROWS OF BAFFLES BETWEEN THE INLET AND OUTLET DISCHARGE POINT. BASINS LESS THAN 20 FEET IN LENGTH MAY USE 2 BAFFLES.
 6. ATTACH A 9 GAUGE HIGH TENSION WIRE STRAND TO THE STEEL POSTS AT A HEIGHT OF 6 INCHES ABOVE THE SPILLWAY ELEVATION WITH PLASTIC TIES OR WIRE FASTENERS TO PREVENT SAGGING. IF THE TEMPORARY SEDIMENT BASIN WILL BE CONVERTED TO A PERMANENT STORMWATER BASIN OF A GREATER DEPTH, THE BAFFLE HEIGHT SHOULD BE BASED ON THE POOL DEPTH DURING USE AS A TEMPORARY SEDIMENT BASIN.
 7. EXTEND 9 GAUGE MINIMUM HIGH TENSION WIRE STRAND TO SIDE OF BASIN OR INSTALL STEEL T-POSTS TO ANCHOR BAFFLE TO SIDE OF BASIN AND SECURE TO VERTICAL END POSTS.
 8. DRAPE THE COIR FIBER MAT OVER THE WIRE STRAND MOUNTED AT A HEIGHT OF 6 INCHES ABOVE THE SPILLWAY ELEVATION. SECURE THE COIR FIBER MAT TO THE WIRE STRAND WITH PLASTIC TIES OR WIRE FASTENERS. ANCHOR THE MATTING TO THE SIDES AND FLOOR OF THE BASIN WITH 12 INCH WIRE STAPLES, APPROXIMATELY 1 FT APART, ALONG THE BOTTOM AND SIDE SLOPES OF THE BASIN.
 9. DO NOT SPLICE THE FABRIC, BUT USE A CONTINUOUS PIECE ACROSS THE BASIN.
 10. ADJUSTMENTS MAY BE REQUIRED IN THE STAPLING REQUIREMENTS TO FIT INDIVIDUAL SITE CONDITIONS.



CROSS SECTION OF POROUS BAFFLE



SECTION B-B



SECTION A-A

Approved Construction Plan

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Fire _____

STORMWATER MANAGEMENT PLAN APPROVED

CITY OF WILMINGTON ENGINEERING DEPARTMENT

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MANHOLE DIAMETER (FT.)	MIN. WALL THICKNESS (IN.)	MIN. TOP/BOTTOM RIB THICKNESS (IN.)	MIN. CONCRETE AREA OF STEEL PER VERTICAL FT. (SQ. IN.)
4	4	4	0.19
5	5	5	0.25
6	6	6	0.31

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DETAILS AND NOTES

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